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Doc# 274274 Fee: \$336.40 3 Pages
Property & Public Services
Property Records Division
Yellow Medicine County, Minnesota
I hereby certify that the within instrument
was filed on December 7, 2020 at 10:25 AM

No delinquent taxes and transfer entered.
Certificate of Real Estate Value
(X) filed () not required CRV No. 11164
Deed Tax \$ 290.40 Rct# 129156
Date: December 7th, 2020
Yellow Medicine County
Janel Timm, Property & Public Services Director
Stacy Keller

Janel Timm, Yellow Medicine County Recorder
By Jail Rohlik Deputy

eCRV ID: 1184074

WARRANTY DEED

Drafted by:
Fluegel, Anderson, McLaughlin & Brutlag, Chartered
Attorneys at Law
215 Atlantic Avenue, PO Box 527, Morris, MN 56267-0527; (320) 589-4151
25 Second Street NW, Suite 102, Ortonville, MN 56278; (320) 839-2549
1112 First Avenue North, Professional Building, Wheaton, MN 56296, Phone: (320) 563-1414

Well Certificate Received
 Well Certificate Not Required
Yellow Medicine County Recorder

STATE DEED TAX DUE HEREON: \$290.40

DATED: November 19, 2020

FOR VALUABLE CONSIDERATION, **Kristoffer Hauger, a single person**, Grantor, hereby conveys and warrants to **Marian Knopp and Michael Knopp, as joint tenants**, Grantees, real property in Yellow Medicine County, Minnesota, described as follows:

03-004-3030
The East Half of the West Half of the Southwest Quarter (E1/2-W1/2-SW1/4) of Section Four (4), Township One Hundred Fifteen (115) North, Range Forty-six (46) West, Yellow Medicine County, Minnesota. Said tract contains 40.20 acres more or less and is subject to any easements of record including an existing road right-of-way over the southerly 50.00 feet thereof AND TOGETHER WITH on access easement, 20.00 feet in width, extending 10.00 feet on both sides of a center line described as follows: Commencing at the southwest corner of said Section Four (4); thence North 00 degrees 47 minutes 20 seconds East, assumed bearing along the west line of the Southwest Quarter (SW1/4) of said Section, a distance of 1767.00 feet to the point of beginning of the center line to be described; thence South 86 degrees 08 minutes 00 seconds East a distance of 162.00 feet; thence North 89 degrees 31 minutes 20 seconds East a distance of 190.00 feet; thence North 83 degrees 25 minutes 48 seconds East a distance of 146.00 feet; thence North 72 degrees 19 minutes 50 seconds

East a distance of 177.00 feet to a point on the west line of the tract described herein and there terminating. The sidelines of said access easement shall be prolonged or shortened to terminate on said west line of the Southwest Quarter (SW1/4) and on the west line of said tract described herein. Said access easement shall be perpetual and for the benefit of and appurtenant to said tract described herein.

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions: easements of record and visible on premises.

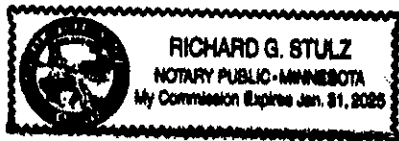
- The Seller (Grantor) certifies he does not know of any wells on the described real property.
- A Well Disclosure Certificate accompanies this document.
- I am familiar with the property described in this instrument and certify the status and number of wells on the described real property have not changed since the last previously filed Well Disclosure Certificate.

Kristoffer Hauger

STATE OF MINNESOTA)
) ss
COUNTY OF LAC QUI PARRE)

The foregoing instrument was acknowledged before me this 2 day of December, 2020, by **Kristoffer Hauger**, a single person, Grantor.

Notary Stamp or Seal (or other Title or Rank)

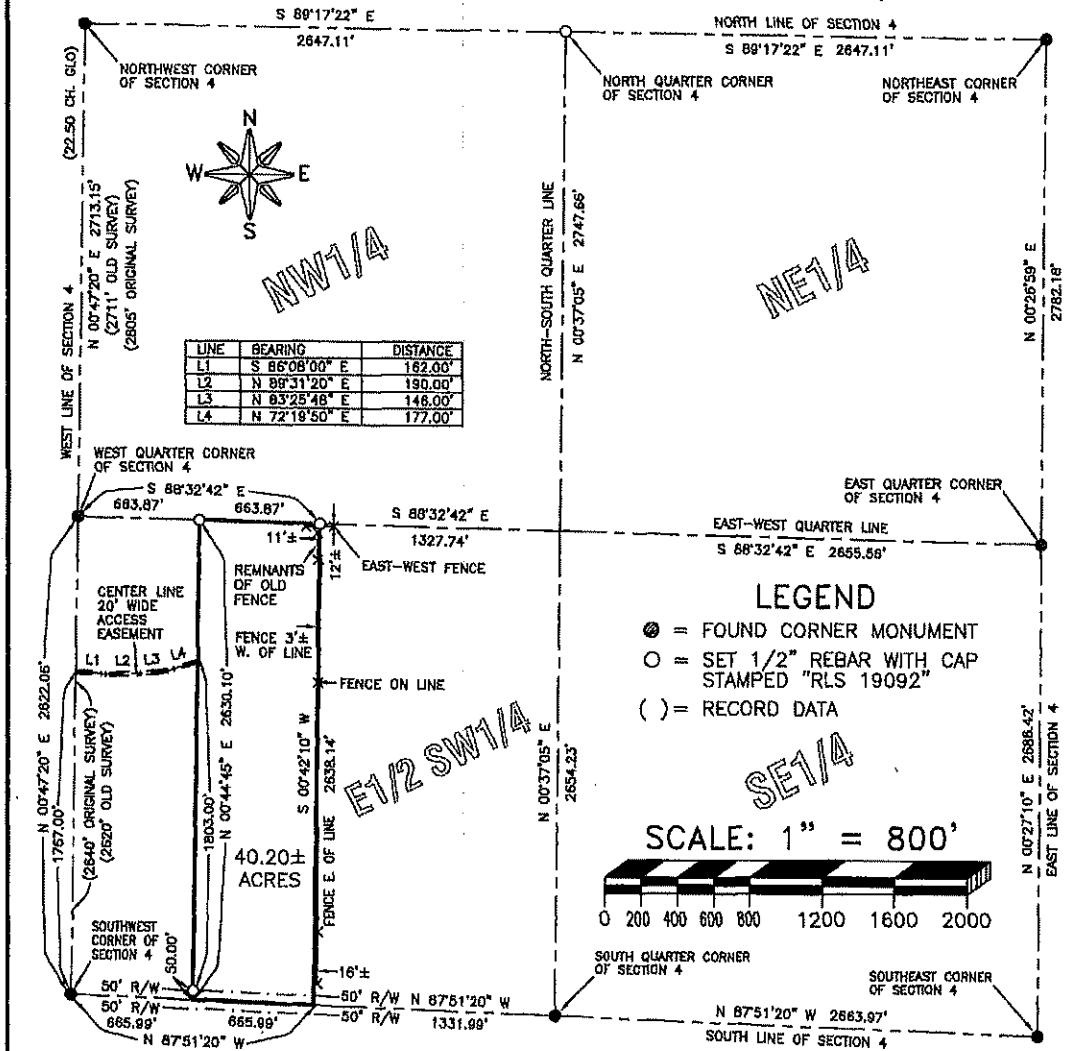


Signature of Notary Public or Other Official
My Commission expires: _____

SEND TAX STATEMENTS TO:
Marian & Michael Knopp
1953 - 255th Avenue
Madison, MN 56256

CERTIFICATE OF SURVEY

The East Half of the West Half of the Southwest Quarter of Section 4,
Township 115 North, Range 46 West, Yellow Medicine County, Minnesota



LAND DESCRIPTION

The East Half of the West Half of the Southwest Quarter (E1/2 W1/2 SW1/4) of Section Four (4), Township One hundred fifteen (115) North, Range Forty-six (46) West, Yellow Medicine County, Minnesota. Said tract contains 40.20 acres more or less and is subject to any easements of record including an existing road right of way over the southerly 50.00 feet thereof AND TOGETHER WITH an access easement, 20.00 feet in width, extending 10.00 feet on both sides of a center line described as follows:

Commencing at the southwest corner of said Section Four (4); thence North 00 degrees 47 minutes 20 seconds East, assumed bearing along the west line of the Southwest Quarter (SW1/4) of said Section, a distance of 1767.00 feet to the point of beginning of the center line to be described; thence South 86 degrees 08 minutes 00 seconds East a distance of 162.00 feet; thence North 89 degrees 31 minutes 20 seconds East a distance of 190.00 feet; thence North 83 degrees 25 minutes 48 seconds East a distance of 146.00 feet; thence North 72 degrees 19 minutes 50 seconds East a distance of 177.00 feet to a point on the west line of the tract described herein and there terminating. The sidelines of said access easement shall be prolonged or shortened to terminate on said west line of the Southwest Quarter (SW1/4) and on the west line of said tract described herein. Said access easement shall be perpetual and for the benefit of and appurtenant to said tract described herein.

Surveyors Certificate

I, Roy Marihart, do hereby certify that this survey and drawing was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the Laws of the State of Minnesota.

Roy Marihart
 Roy Marihart - MN Reg. No. 19092
 Marihart Surveying, P.A.

Nov. 12, 2020
 Date